
Subject: Applications for Draft Plan of Subdivision Approval and Zoning By-law Amendment at 5481 & 5551 Bethesda Sideroad, Treasure Hill Stouffville (Bethesda) Developments Inc. (File Numbers: 19T(W)-22.001 and ZBA22.003)

Staff Report No. DS-021-24

Commission: Development Services Commission

Date: May 15, 2024

Recommendation:

- 1) That Council direct staff to issue a Notice of Decision to draft approve Subdivision File No. 19T(W)-22.001, subject to the conditions of draft plan approval as set out in Attachment 3 to Report No. DS-021-24, in accordance with Section 51(31) of the Planning Act;
- 2) That Council enact By-law 2024-059-ZO being a by-law to amend the Town of Whitchurch-Stouffville’s Comprehensive Zoning By-law 2010-001-ZO by applying site-specific zones and direct staff to issue a Notice of Passing; and
- 3) That Council confirm that notwithstanding that the proposed Zoning By-law Amendment as attached to this report is different from the Zoning By-law Amendment proposed at the September 28, 2022 Statutory Public Meeting, the revisions are minor in nature and that no further Statutory Public Meeting is required.

1. Purpose:

The purpose of this Report is to assess the merits of and make a recommendation respecting applications for a Draft Plan of Subdivision and Zoning By-law Amendment for lands municipally known as 5481 and 5551 Bethesda Sideroad (the “Subject Lands”), which if approved would permit the construction of a residential plan of subdivision.

2. Executive Summary:

Applications for Draft Plan of Subdivision approval and Zoning By-law Amendment have been submitted to the Town by Malone Given Parsons (“the Applicant”) on behalf of TH Stouffville (Bethesda) Developments Inc. in support of the proposed development. The

proposal includes 180 residential dwellings, comprising 96 detached lots and 84 back-to-back townhouse units.

Staff are recommending approval of the implementing Zoning By-law for the draft plan lands, save and except the Future Development Block 107 (subject to File: SP22.025), located along the south side of Bethesda Sideroad, as well as Future Development Part Blocks 114 to 118, inclusive located along the southeastern limit of the draft plan lands. These blocks are currently subject to design modifications by the applicant. A staff report will be brought forward with a separate implementing Zoning By-law for Blocks 107 and 114 to 118, inclusive, at a future Council meeting following their final design, to the satisfaction of Planning staff. A more detailed review can be found under Section 4.3 Town's Comprehensive Zoning By-law 2010-001-ZO and proposed amendments of this Report.

This report will:

- Provide an overview of the Subject Lands and its location in relation to existing development and adjacent land uses;
- Provide an overview of the proposed Draft Plan of Subdivision and Zoning By-law Amendment;
- Identify and discuss applicable Provincial, Regional and Town Official Plan policies; and,
- Identify and address key issues with respect to the applications and identify how these issues have been addressed or reflected in the Draft Plan Conditions.

The applications have been reviewed in consideration of Provincial, Regional and Town policies and staff are of the opinion that the applications are consistent with and conform to those policies.

This Report concludes that granting the Draft Plan Approval for the subdivision (File: 19T(W)-22.001) and Zoning By-law Amendment (File: ZBA22.003), subject to conditions in accordance with the recommendations made in this Report represents good planning.

3. Background:

3.1 Location

The Subject Lands are municipally known as 5481 and 5551 Bethesda Sideroad in the Town of Whitchurch-Stouffville as shown on Attachment 1 of this Report. The Subject Lands are approximately 18.1 hectares (44.9 acres) in size and have a frontage of approximately 390 metres (1,280 feet) along Bethesda Sideroad.

A tributary of Little Rouge Creek traverses the lands from the southwest corner through the central portion of the lands towards Bethesda Sideroad. There are natural heritage features present and they include woodlands, wetlands, and hedgerows. The balance of the lands are irregular in shape and generally slope towards the tributary.

There is a block located at the northwest corner of the Subject Lands that is identified as, "Other Lands Owned By Applicant". These lands are designated 'Business Park' under the Community of Stouffville Secondary Plan and are not subject to the current Draft Plan of Subdivision and Zoning By-law Amendment applications.

3.2 Surrounding Land Uses

Below is a description of the adjacent land uses:

North: Bethesda Sideroad, beyond which are detached dwellings and agricultural lands. The Subject Lands are within the Town's settlement boundary, while lands to north are located outside of the settlement boundary.

East: Lands designated residential and subject to a Draft Plan of Subdivision and Zoning By-law Amendment application by Fieldgate Developments (Files: ZBA22.004 & 19T(W)-22.002).

South: Valleylands and residential lands comprising detached dwellings and townhouses and Baker Hill Park.

West: Employment and industrial lands comprising outdoor storage and diecast operations.

Figure 1 below depicts an aerial image of the Subject Lands and surrounding land uses.

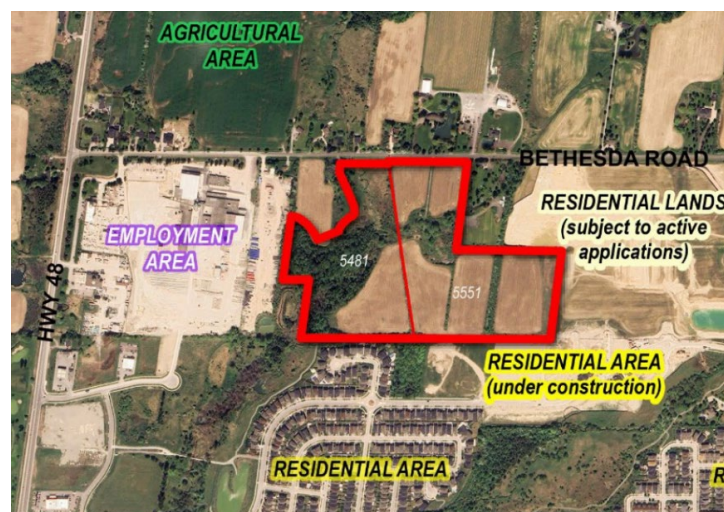


Figure 1 – Aerial Image of Subject Lands and Surrounding Land Uses

3.3 Statutory Public Meeting

In accordance with the requirements of the Planning Act, a Statutory Public Meeting was held on September 28, 2022. A Notice of the Public Meeting was mailed out on September 2, 2022 to property owners within 120 metres of the Subject Lands. Staff and the applicant each made presentations to Council. There were no members of the public in attendance online or in person who spoke for or against the applications. No written correspondence was received by members of the public.

During the Public Meeting, Council raised questions regarding various aspects of the proposed plan. A staff response to each is included below:

1) **Consideration for affordable housing options and/or secondary dwelling units;**

Staff Response: Council requested further information on whether the Draft Plan of Subdivision will include any affordable housing options and/or secondary dwelling units. In response to Council's request, the applicant has committed to offering an optional package available to prospective homebuyers purchasing a detached product within this subdivision to accommodate the inclusion of a future secondary basement suite, also known as Additional Residential Unit (ARU). This will facilitate additional housing options and supply within the draft plan of subdivision.

2) **The viability of having proposed underground stormwater management facilities (UHMFs) with dedicated park space above-ground.**

Staff Response: Council raised questions regarding the viability of having dual use stormwater facilities in place of traditional stormwater management ponds and separate park space. A dual-use approach involves an underground stormwater management facility with above-ground uses. This approach is becoming a new ask for this type of emerging infrastructure across other GTA municipalities. The long-term viability and financial impact on municipalities is still unknown and needs further examination.

The civil engineering plans indicate that the design of the underground infrastructure encompasses a large portion of the Stormwater Management Block, leaving a limited amount of area for unencumbered programmable park space (e.g. playground). In lieu of programmable park space, staff are evaluating the feasibility of providing passive park space on this block.

Currently, the provisions proposed through Bill 23 related to: (i) developer-identified parkland; and, (ii) encumbered/strata parks and privately owned public open space (i.e. POPS) have not yet come into force. Consultations remain underway with various municipalities to determine the impact of these provisions as the Ministry of Municipal Affairs and Housing (MMAH) strategizes on how to move forward. In response, staff are undertaking the 'Parks Plan and Parkland Dedication Study' that will inform the update to the Town's Parkland Dedication By-law.

In this regard, Staff find that it is premature for the Town to determine the feasibility of municipal parkland space within this block until the Town’s Parkland Dedication By-law has been concluded.

4. Analysis and Options:

4.1 Development Proposal

Current Draft Plan

The current draft plan provides a total of 180 residential dwellings, comprising 96 detached lots and 84 back-to-back townhouse units. The draft plan also includes a Stormwater Management (Underground Stormwater Management Facility)/Open Space Block (Block 108), an Elementary School Block (Block 109), a Park Block (Block 110), a Woodlot Block (Block 111), an Open Space Block (Block 112), a Road Widening Block (Block 121) and Future Development Blocks (107, 114 to 120 inclusive). Future Development Block 107 proposes a condominium townhouse development, which is located on the south side of Bethesda Sideroad. This Block is subject to a Site Plan Application (SPA22.025), which is concurrently being processed with the Draft Plan of Subdivision and Zoning By-law Amendment applications. A Site Plan resubmission is anticipated in the near future.

Draft Plan Changes

Following receipt and evaluation of Town and agency comments obtained through the Public Meeting and application review process, there were a number of revisions made to the draft plan which are summarized below:

Additional Density

As shown on Table A, the draft plan presented at the Public Meeting solely proposed detached built forms, totaling to 134 units, whereas the current draft plan proposes a total of 180 detached and townhouse units.

Table A: Total Unit Count Comparison, Statutory Public Meeting and Current Plan

	Public Meeting Proposal Sept. 2022	Current Proposal April 2024
Detached Units Min. 11.0m / 36ft	108 units	79 units
Detached Units Min. 12.2m / 40ft	26 units	17 units
Townhouse Units Back-to-Back	-	84 units
Total Units	134 units	180 units

The current draft plan contains an additional 46 residential units when compared to the plan presented at the Public Meeting. Staff had indicated to the applicant that municipally

owned Underground Stormwater Management Facilities (USMFs) would not be considered for detached development proposals and that consideration for additional density in the form of alternate residential built forms would make more efficient use of the lands. On this basis, the applicant revised the draft plan to introduce 84 back-to-back townhouse units situated within 10 blocks, along Streets 'B' and 'G'. As a result of these modifications, the overall share of detached lots has decreased to accommodate space on the plan for the back-to-back townhouse units.

Underground Stormwater Management Facilities (USMFs)

Staff had met with the developer to discuss a proposed dual use facility, design and ownership. The developer's intention is to deliver a dual use park space over Block 108. The underground infrastructure will be designed to accommodate quality, quantity and erosion control in conjunction with Low Impact Development (LID) methods to address runoff to the satisfaction of Town. A determination by staff, with respect to any parkland dedication credits as it relates to the USMFs, will be made following the outcome of the Town's Parkland Dedication By-law review. Once the Town's By-law has been updated and the plan is in the detailed design stage, this matter will be concluded.

This Block was initially identified as a 'Stormwater Management/Park Block'. In this regard, the Town's current Parkland Dedication By-law does not allow for dual use parks. As such, Block 108 has been relabelled to 'Stormwater Management/Open Space Block'.

Extension of Baker Hill Park

The applicant has modified the draft plan to improve connectivity, visibility and safety for residents accessing Baker Hill Park to the south. The draft plan introduces Park Block (Block 110) in the place where previous iterations proposed 7 detached lots and an 8-metre-wide walkway block. The proposed Park Block will be planned as an extension to Baker Hill Park and intended to form a larger programmable park space to serve future residents of the draft plan lands as well as the existing neighbourhood to the south. To further enhance connectivity, a new east-west pedestrian trail is proposed through the Stormwater Management Block/Open Space (Block 108) and Woodlot Block (Block 111) to Baker Hill Park. Staff find that these modifications provide greater accessibility and increased prominence of Baker Hill Park and is in keeping with the vision and goals of the Town's Urban Design Guidelines.

Adjustments to Lotting Pattern

Adjustments have been made to the lotting pattern along Street 'B' abutting Stormwater Management Block/Open Space (Block 108) in response to the provision of the Park Block (Block 110). The size of Block 108 has slightly decreased (0.85 ha / 2.10 ac), compared to the block size proposed from the Public Meeting, which was 0.97 ha (2.39 ha). Adequate spacing is provided between the detached lots in order to enable emergency and operation vehicles access to Block 108, per Town standards.

Other Modifications

The current draft plan includes part of an Elementary School Block (Block 109) along the eastern development limit. The draft plan proposed at the Public Meeting initially comprised a Park Block in this general location. The switch relates to modifications to the neighbouring Fieldgate draft plan to the east (Files: ZBA22.004 & 19T(W)-22.002), resulting from the comments received and discussion with the York Region District School Board. Lastly, changes also included refinements to the development limits based on the location of natural heritage features and required buffers, per TRCA's design criteria. As well, adjustments were made to the alignment of proposed Streets 'A' & 'E' to meet Town standards.

A copy of the proposed Draft Plan of Subdivision can be found as Attachment 2 to this report.

4.2 Applicable Provincial, Regional and Town Policies

This section analyzes the conformity and consistency with the current and relevant policy environment and this analysis forms a part of the review of the planning applications. The review will include Provincial Plans and policies, the York Region Official Plan, and the Town's current Official Plan and Zoning By-law.

4.2.1 Provincial Policy Statement 2020

The Provincial Policy Statement (PPS) was issued by the Province under Section 3 of the Planning Act and came into effect on May 1, 2020. The PPS provides policy direction on matters of Provincial Interest related to land use planning and development. The objective of the PPS is to contribute to a more effective and efficient land use planning system with the goal of improving the quality of life within Ontario by supporting the principles of strong communities, supporting economic growth and fostering a healthy environment.

The Applications are consistent with the policies of the PPS, particularly:

- Section 1.1.1 regarding healthy, livable, and safe communities;
- Section 1.1.3 regarding settlement areas being the focus of development based on densities and efficient land use;
- Section 1.4.3 regarding planning authorities providing for an appropriate range and mix of housing types; and
- Section 1.6.6.2 regarding municipal sewage services and municipal water services are the preferred form of servicing for settlement areas.

The Subject Lands are located within a Settlement Area as defined by the PPS. The proposal will contribute to providing growth within a defined Settlement Area with densities that promote efficient land uses. The proposal also contributes to an appropriate range and mix of housing types.

Staff find that the proposed development is consistent with the Provincial Policy Statement and represents good planning.

4.2.2 Oak Ridges Moraine Conservation Plan 2017 (ORMCP 2017)

The Subject Lands are located on the Oak Ridges Moraine (ORM), and within the Settlement Area land use designation of the Oak Ridges Moraine Conservation Plan (ORMCP). The Subject Lands are within the 120 metre Minimum Area of Influence and 30 metre Minimum Vegetation Protection Zone (MVPZ) of a significant woodland and wetland feature. The ORMCP identifies significant woodlands and wetlands as Key Natural Heritage Features (KNHFs) and/or Hydrologically Sensitive Features (HSFs).

In accordance with the ORMCP, development is generally prohibited within the MVPZ of KNHFs and HSFs. Development within the Settlement Area is permitted to encroach into the MVPZ if technical studies can justify that limited alternatives are available, the encroachment is minimized, and the proposed development will not have an adverse impact on the features.

An Environmental Impact Study (EIS) prepared by Palmer Consulting (revised September 2023), was submitted in support of the applications. The proposed MVPZ has been supported by appropriate justification by the applicant's environmental consultant. The developer has demonstrated that the proposed development will not adversely affect the adjacent KNHFs and/or HSFs or the ecological integrity of the ORM Plan Area. The TRCA has reviewed the justification for the proposal the VPZ and have determined both to be appropriate.

The floodplain limits have been refined on the Draft Plan and Environmental Impact Study, which include all identified natural hazards, natural features and buffers. The lands are within TRCA's Regulated Area and a permit from TRCA will be required prior to any development taking place. Environmental lands including Open Space Block (Block 112) and Woodlot Block (Block 111) will be conveyed into public ownership and will be deferred to Draft Plan Conditions and the detailed design process with regard to the conveyance to the TRCA.

There are contiguous vegetation (hedgerow) located among the agricultural fields. There is no policy in the Region or Town environmental policy which requires hedgerow preservation. Notwithstanding this, the deciduous hedgerow along the southwestern border of the draft plan lands will be retained as requested by the TRCA and it will be maintained as a corridor as part of the Woodlot Block.

Through the implementation of setbacks and proposed mitigation measures, no impacts are anticipated to these features and their functions. The VPZs as per the ORMCP have been applied to the satisfaction of staff and the TRCA.

Staff are of the opinion that the proposed development conforms with the ORMCP.

4.2.3 A Place to Grow: Growth plan for the Greater Golden Horseshoe 2019

The Growth Plan's vision is based on several key guiding principles that are intended to impact how land use planning decisions are made. The Growth Plan requires that the majority of growth to be directed to Settlement Areas. The stated vision for the year 2051 includes the provision of a wide variety of living choices, and urban centres which are characterized by vibrant and more compact settlement and development patterns. The Plan requires development through intensification and compact urban form. In accordance with the guiding principles listed in Section 1.2.1 and 2.2.1 of the Growth Plan, the proposal:

- Contributes to the goal of building complete communities;
- to make efficient use of the land and infrastructure;
- Supporting a range and mix of housing options; and
- Optimizes the use of existing infrastructure.

The Development provides for residential detached and townhouse units within a settlement area, which contributes to providing a mix of housing densities. On this basis, the proposed development conforms with the Growth Plan and represents good planning.

4.2.4 York Region Official Plan 2022 (the 'YROP 2022')

The York Region Official Plan 2022 ('YROP 2022') was approved with modifications by the Province on November 4, 2022 by the Province of Ontario's Ministry of Municipal Affairs and Housing and is now in force. The approved 2022 York Regional Official Plan replaces the 2010 Regional Official Plan. The YROP 2022 provides a long-term vision for York Region's physical form and community structure and sets goals and objectives, describes a regional structure for accommodating growth.

The Subject Lands are designated 'Towns and Villages' on Map 1 - 'Regional Structure' and 'Regional Greenfield Systems' on Map 1 – Regional Structure in the YROP 2022. Development within the 'Towns and Villages' designation will occur on the basis of full municipal water and wastewater treatment services where such facilities exist.

The Subject Lands are also within a 'Designated Greenfield Area' on Map 1B – Urban System Overlays in the YROP 2022. Section 4.2.7 states that local municipalities shall plan to meet or exceed the designated greenfield area minimum density targets by 2051. In this regard, the York Region Designated Greenfield Area (DGA) Target for Whitchurch-Stouffville is 55 people and jobs per hectares.

The proposal contributes additional housing options to the community. York Region has no objections to the applications subject to their Conditions of Draft Plan Approval included in Attachment 3.

4.2.5 Town of Whitchurch-Stouffville Official Plan, 2000 (2023 Consolidation)

Town of Whitchurch-Stouffville Official Plan, 2000 (“WSOP”) identifies Secondary Plan Areas for four key areas, including the Community of Stouffville.

The Subject Lands are identified as a Secondary Plan Area (Community of Stouffville) on Schedule ‘C’ - Land Use Designations in the Official Plan. Section 4.16.1 of the Official Plan states that the purpose of a Secondary Plan Area designation is to recognize and maintain its individual identity, while recognizing its function as a Settlement Area within the Town. Further, development shall be subject to the policies of the Community of Stouffville Secondary Plan.

Stouffville Secondary Plan – Land Use and Transportation Plan

The Subject Lands are identified within the Phase 3 lands in the Town’s Growth Management Strategy (GMS) to plan for growth to 2031. In 2016, the GMS culminated in the Town’s adoption and subsequent York Region approval of OPA 137, which amended the Community of Stouffville Secondary Plan to replace the rural land use designations with urban land use designations, with associated policies for each.

As shown on Figure 2, the Subject Lands are designated, ‘Residential Area’, ‘Urban Medium Density Residential’, ‘Urban High-Density Residential’, ‘Greenland Area’, and ‘Flood Plain Area’ on Schedule ‘F’ - Land Use and Transportation Plan of the Community of Stouffville Secondary Plan.

Figure 2, below depicts an excerpt from Schedule ‘F’ - Stouffville Land Use Designations

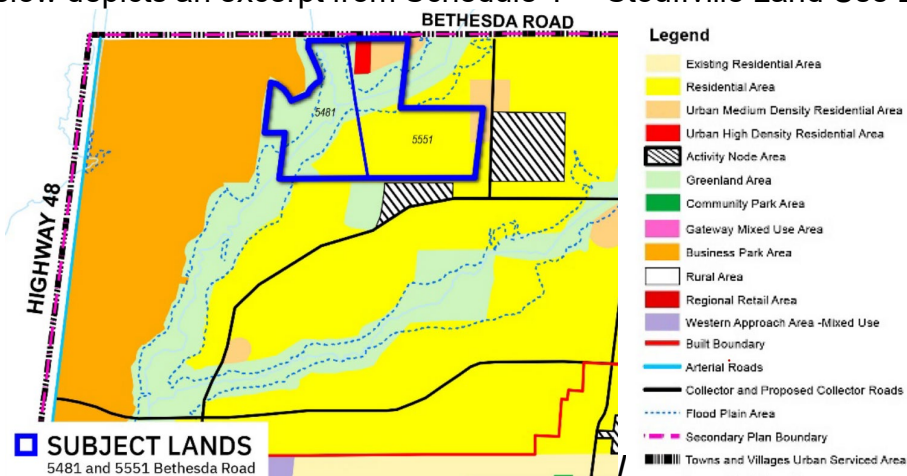


Figure 2 Excerpt from Schedule ‘F’ - Stouffville Land Use Designations

The Residential Area designation (Section 12.7.6) provides for the creation of new residential neighbourhoods that are generally compatible with the character and density of the existing community area. Permitted uses within this designation includes, low to medium density built forms, including detached, semi-detached, duplex dwellings and townhouse dwellings. The designation prescribes a density range between 15 and 30

UPH, respectively. The applicant is proposing a total of 180 residential units comprising a mix of detached lots and back-to-back townhouse units and equates to a net density of approximately 27.5 UPH. The proposal conforms with the policies Community of Stouffville Secondary Plan.

As shown on Figure 2, a portion of the draft plan lands are designated Urban High Density Residential and Urban Medium Density Residential along the south side of Bethesda Sideroad, which encompasses Future Development Block 107 on the draft plan.

The Urban High Density Residential and Urban Medium Density Residential designations generally allow for more intensive built forms such as, townhouse and mid-rise built forms that are up to 4 storeys in height. Future Development Block 107 is proposed as a 3-storey stacked townhouse development and is concurrently being reviewed under Site Plan Application (SPA22.025). A resubmission is anticipated in the near future. The plan will be required to conform to the Secondary Plan policies prescribed within the two land use designations.

In addition, a small portion of the draft plan lands in the location of the proposed Elementary School Block (Block 109) is designated as, Urban Medium Density Residential. This area represents the proposed townhouse blocks, which are situated along the southeastern portion of the draft plan lands. These blocks will be developed in conjunction with the Fieldgate plan to the east. Staff find that the general intent Urban Medium Density Residential designation is maintained.

Stouffville Secondary Plan – Phase 3 Lands

OPA 129 updates the residential and development phasing policies of the Secondary Plan and introduces new sustainable development requirements. According to OPA 129, the Subject Lands are considered to be Designated Greenfield Area and therefore shall contribute to a minimum density of 50 residents and jobs per hectare in the Town's Designated Greenfield Areas.

The Subject Lands are within Sub-Area 3.1 on Schedule F4 of the Community of Stouffville Secondary Plan, which is planned to accommodate approximately 1,600 residential units and achieve minimum density target of 50 residents and jobs combined per hectare within the developable area. The development proposes a net density of approximately 27.5 UPH. To further support achieving the Town's minimum density target, the developer has agreed to provide an optional package available to homebuyers purchasing the detached product to accommodate the inclusion of a secondary basement suite. This will provide additional housing options and supply within the draft plan lands.

Figure 3, depicts an excerpt from Schedule 'F4' - Stouffville Land Use Designations

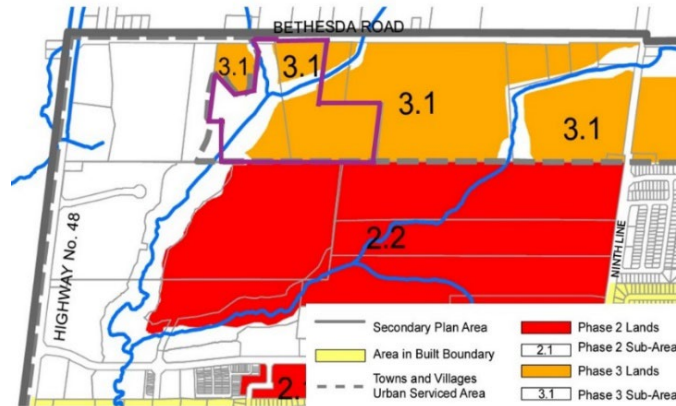


Figure 3, Schedule 'F4' - Stouffville Land Use Designations

In summary, the proposed development will contribute to the achievement of the minimum density requirements prescribed for Sub-Area 3.1 of the Community of Stouffville Secondary Plan. The proposed development conforms with the intent of the draft Official Plan by introducing a variety of housing types and further contributes to the creation of complete communities. An Official Plan Amendment is not required.

4.2.6 Town’s Comprehensive Zoning By-law 2010-001-ZO and Proposed Amendments

The Subject Lands are zoned Agricultural (AG), Flood Hazard (FH) and Environmental (ENV) under Zoning By-law 2010-001-ZO, as amended. The applicant has requested a Zoning By-law amendment in order to implement the proposed residential uses and delineate the environmental and open space limits. Staff are recommending approval of the implementing Zoning By-law for the draft plan lands, save and except the Future Development Block 107, and Future Development Part Blocks 114 to 118, inclusive. As outlined earlier in the Report, and shown on Figure 4, staff are excluding these blocks due to ongoing modifications involving their site design.

Figure 4, below depicts the Proposed Zoning By-law Amendment Schedule.

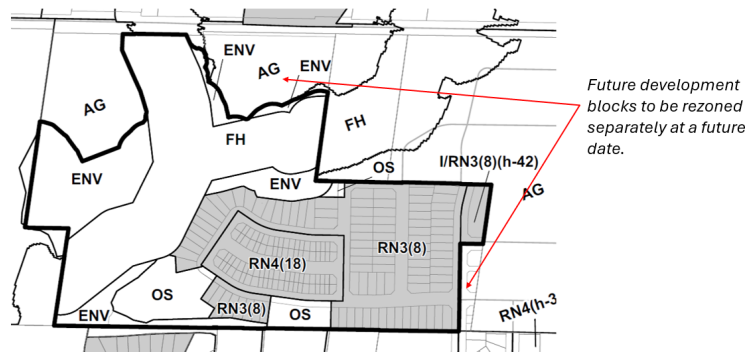


Figure 4, Proposed Zoning By-law Amendment Schedule

Figure 5, below depicts the Proposed Draft Plan indicating the Blocks.

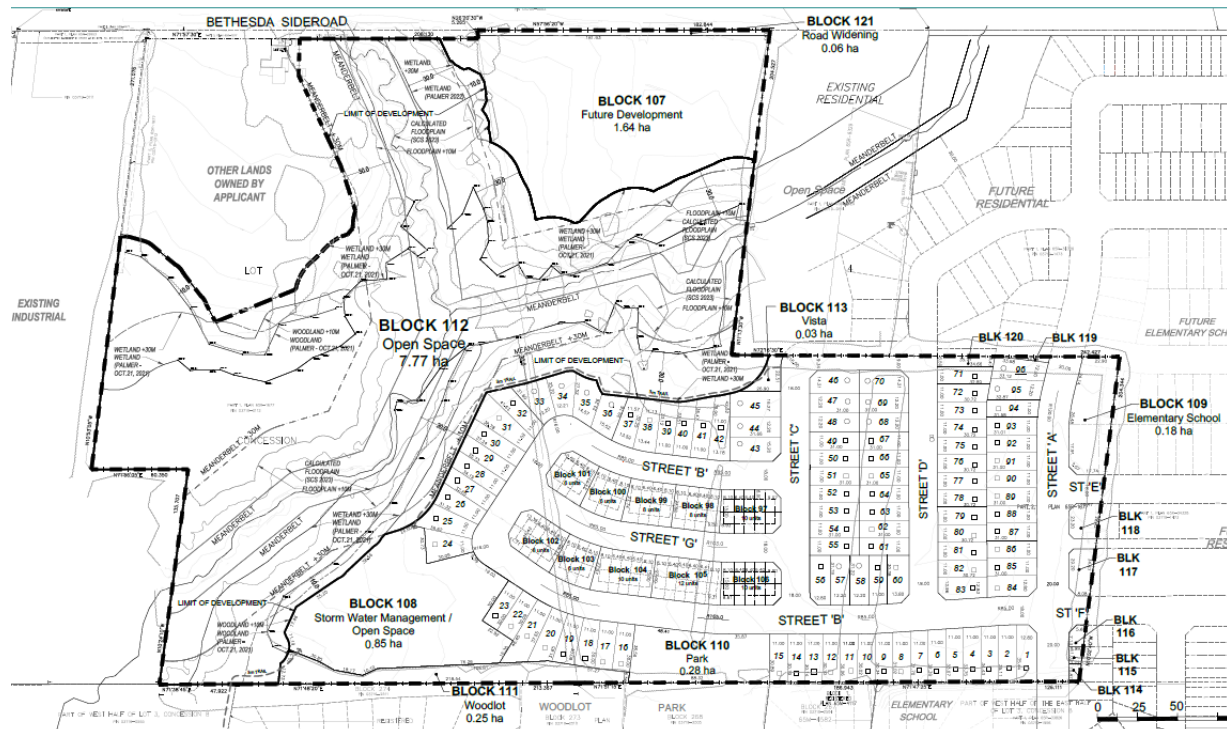


Figure 5, Draft Plan depicting the Blocks

Future Development Block 107 comprises a condominium townhouse development, which is located along the south side of Bethesda Sideroad. Block 107 is subject to Site Plan Application (SPA22.025). The applicant is in the process of revising the Site Plan in response to staff and agency comments, which includes an additional road widening along the property frontage on Bethesda Sideroad, per the Council endorsed the Transportation Management Plan (December 2023).

Future Development Part Blocks 114 to 118 are located along the southeastern limit of the draft plan lands and will be developed in conjunction with the abutting draft plan to the east by Fieldgate Developments (Files: ZBA22.004 & 19T(W)-22.002). The design of these part blocks is being modified in coordination within the Fieldgate draft plan.

In summary, a separate staff report will be brought forward with the implementing Zoning By-law for Block 107 and Blocks 114 to 118, at a future Council meeting following their final design, to the satisfaction of Town staff.

The following tables below summarize the requested residential zone changes proposed by the applicant, reflecting the proposed detached lots, the elementary school block, and back-to-back townhouse units.

Attachment 2 to this report includes a copy of the proposed Draft Plan of Subdivision.

Table B: Existing Zoning By-law Regulations and Proposed Zoning Standards for New Residential Three RN3(8), Detached Dwellings

Regulation	Required RN3 Zone Regulations, per Town By-law 2010-001-ZO	Proposed (RN-3(8)) Zone	Amendment Y/N
Minimum Rear Yard	7.0 m	6.0 m	Yes
Maximum Building Height	10.0 m	11.0 m	Yes

As shown on Table B, the applicant is seeking relief from the parent RN3 zone in order to implement zone standards for the proposed detached dwellings. Reductions are being sought for the minimum rear yard setback as well as the maximum building height.

Table C: Existing Zoning By-law Regulations and Proposed Zoning Standards for Institutional I / New Residential Three RN3(8) (H-42), Detached Dwellings

Regulation	Required RN3 Zone Regulations, per Town By-law 2010-001-ZO	Proposed [(RN-3(8) (H-42)) Zone	Amendment Y/N
Minimum Rear Yard	7.0 m	6.0 m	Yes
Maximum Building Height	10.0 m	11.0 m	Yes

As shown on the draft plan, Elementary School Block (Block 109) is being planned in conjunction with the abutting Fieldgate Plan to the east. A Holding Provision is included whereby the Elementary School Block (Block 109) shall only be developed for residential uses if it is confirmed that Block 109 is not required for the purposes of a school.

In the event that the school block is not required by the school board, the New Residential Three (RN3) zone will be implemented to permit detached dwellings. In this regard, the applicant is seeking relief from the parent RN3 zone in order to implement zone standards for the proposed detached dwellings. Reductions are being sought for the minimum rear yard setback as well as for the maximum building height.

Table D: Existing Zoning By-law Regulations and Proposed Zoning Standards for New Residential Four RN4(18), Back-to-Back Townhouse Dwellings

Regulation	Required RN4 Zone Regulations, per Town By-law 2010-001-ZO	Proposed (RN4(18)) Zone	Amendment Y/N
Maximum Building Height	10.0 m	13.0 m	Yes

As shown on Table D, the applicant is seeking relief from the parent RN4 zone in order to implement zone standards for the proposed back-to-back townhouse units. An amendment is being sought solely for a reduction in the maximum building height.

In summary, staff find the zone standards proposed in the amending Zoning By-law, meet the general intent of the Town's Zoning By-law.

Public Comments

None

4.3 Options

Option A (Recommended)

That Council pass the Zoning By-Law amendment with site-specific provisions for the Subject Lands. Staff recommends that Council approve the Applications for a Draft Plan of Subdivision and Zoning By-law Amendment. Any further outstanding technical matters can be addressed at the detailed design through the draft plan approval.

Option B

That Council does not approve the applications and pass the site-specific zoning by-law amendment for the Subject Lands. This option is not recommended as the proposed applications represent good planning and conform to Provincial Policy and the Regional Official Plan

5. Financial Implications:

None

6. Alignment with Strategic Plan:

1. A Town that Grows
A Town that grows in support of complete communities
2. A Healthy and Greener Town
Increase Offerings and Opportunities for Active Living.

7. Attachments:

1. Location Map
2. Proposed Draft Plan dated February 4, 2022 revised April 24, 2024
3. Conditions of Draft Plan Approval dated May 15, 2024

8. Related Reports:

September 28, 2022 [Public Meeting Report](#) DS-058-22, Draft Plan of Subdivision Application and Zoning By-law Amendment Application - Part of Lot 4, Concession 8, 5481 & 5551 Bethesda Road for TH Stouffville (Bethesda) Developments Inc.

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