

**THE CORPORATION OF THE TOWN OF WHITCHURCH-STOUFFVILLE**

**BY-LAW NUMBER 2024-061-ZO**

BEING A BY-LAW to amend By-law 2010-001-ZO of the Town of Whitchurch-Stouffville (Comprehensive Zoning By-law) for the lands located at 268, 276, 284, and 296 Cam Fella Boulevard

**WHEREAS** Section 34 of the *Planning Act*, R.S.O. 1990, c.P.13 as amended (the "*Planning Act*"), permits the councils of local municipalities to pass zoning by-laws for prohibiting the use of land or the erecting, locating or using of buildings or structures for or except for such purposes as may be set out in the by-law; and

**WHEREAS** Section 34(10) of the *Planning Act* permits the councils of locate municipalities to amend Zoning By-laws; and

**WHEREAS** Council for the Town desires to amend Comprehensive By-law 2010-001-ZO in respect of the lands known as 268, 276, 284 and 296 Cam Fella Boulevard.

**NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF WHITCHURCH-STOUFFVILLE ENACTS AS FOLLOWS:**

1. That Comprehensive Zoning By-law No. 2010-001-ZO is hereby amended as follows:
  - a) By amending Schedule 49 to rezone the lands from Residential Village (RV) to Residential New Three Exception Nine Zone [RN3(9)] and Residential New Four Exception Nineteen Zone [RN4(19)] as Shown on Schedule 1 to this By-law;
  - b) By amending Section 5A.3.3 Exceptions to the RN3 Zone to add a new Section 5A. 3.3.9 as set out in Schedule 2 to this By-law; and
  - c) By amending Section 5A.3.4. Exceptions to the RN4 Zone to add a new Section 5A. 3.4.19 as set out in Schedule 3 to this By-Law.
2. That this By-law shall come into force in accordance with Section 34 of the *Planning Act*, as amended.

READ a first and second time this 15<sup>th</sup> day of May, 2024.

READ a third time and passed this 15<sup>th</sup> day of May, 2024.

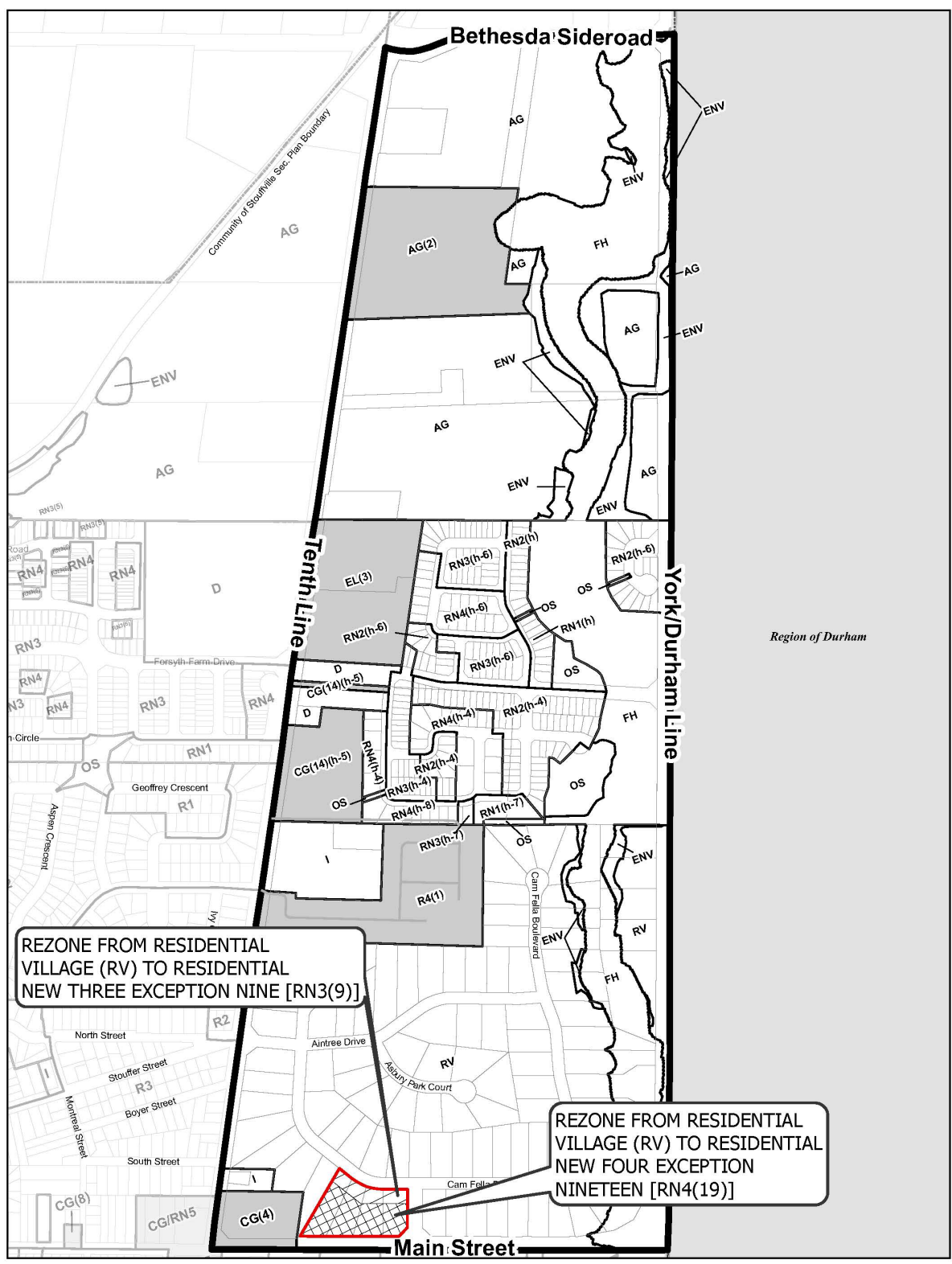
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Iain Lovatt, Mayor

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Becky Jamieson, Clerk

SCHEDULE 1 TO BY-LAW 2024-061-ZO



REZONE FROM RESIDENTIAL VILLAGE (RV) TO RESIDENTIAL NEW THREE EXCEPTION NINE [RN3(9)]

REZONE FROM RESIDENTIAL VILLAGE (RV) TO RESIDENTIAL NEW FOUR EXCEPTION NINETEEN [RN4(19)]

**SCHEDULE 49**



- ZONE DESCRIPTION**
- Section 4
  - AG - Agricultural
  - ENV - Environmental
  - FH - Flood Hazard
  - ORM-C - Oak Ridge Moraine Countryside
  - ORM-L - Oak Ridge Moraine Landscaping
  - ORM-MC - Oak Ridge Moraine Natural Core
  - Section 5
  - RV - Residential Village
  - Section 6
  - Section 7
  - Section 8
  - Section 9
  - Section 10
  - Section 11
  - Section 12
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  - Section 44
  - Section 45
  - Section 46
  - Section 47
  - Section 48
  - Section 49
  - Section 50
- CHANGE AREA**

51	50	49	48	47	46	45	44	43	42	41	40	39	38	37	36	35	34	33	32	31	30	29	28	27	26	25	24	23	22	21	20	19	18	17	16	15	14	13	12	11	10	9	8	7	6	5	4	3	2	1
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**SCHEDULE 49**

**SCHEDULE 2 TO BY-LAW 2024-061-ZO**

5A.3.3.9

RN3 (9) 268, 276, 284, and 296 Cam Fella Boulevard, Schedule 49

1. Permitted Uses

i) Single Detached Dwelling

2. Regulations

i) Minimum Lot Area 330 square metres

ii) Minimum Lot Frontage 14.5 metres (1)

iii) Front Yard Setback Minimum 5.5 metres  
Maximum 7.5 metres

iv) Exterior Side Yard Setback Minimum 2.5 metres(2)  
Maximum 7.5 metres

v) Interior Side Yard Setback The minimum required interior  
side yard shall be 0.6 m on one  
side and 1.2 m on the opposite  
side of the dwelling

vi) Minimum Rear Yard 6.0 metres

vii) Maximum Building Height 11.5 metres

3. Qualifying Notes

(1) The minimum lot frontage abutting an easement may be 10.2 m.

(2) The minimum exterior side yard setback to a daylighting triangle may be 2.0 m.

**SCHEDULE 3 TO BY-LAW 2024-061-ZO**

5A.3.4.19

RN4 (19) 268, 276, 284, and 296 Cam Fella Boulevard, Schedule 49

Notwithstanding Sections 5A.1 and 5A.2, the following shall apply:

1. Permitted Uses

- i) Townhouse Dwelling

2. Regulations

- |                                    |  |
|------------------------------------|--|
| i) Minimum Lot Area                | Not applicable   |
| ii) Minimum Unit Width             | 5.5 metres per dwelling unit                               |
| iii) Front Yard Setback            | Minimum 3.0 metres<br>Maximum 7.5 metres                   |
| iv) Exterior Side yard setback     | Minimum 2.5 metres<br>Maximum 7.5 metres                   |
| v) Interior Side yard Setback      | Lots abutting interior lot line<br>must be a minimum 1.2 m |
| vi) Minimum Yard Between Buildings | 2.5 metres   |
| vii) Minimum Rear Yard             | 6.0 metres   |
| viii) Maximum Building Height      | 12.25 metres   |

3. Special Regulations

- i) The minimum required setback from a sight triangle from Mohawk Gate shall be 1.6 m to the main building and 1.5 m to a porch.
- ii) For the purpose of this zone, the boundary limits of the zone will be considered as a single lot and the front lot line will be Main Street.
- iii) For the purpose of this zone, a total of 155 parking spaces shall be provided.