

THE CORPORATION OF THE TOWN OF WHITCHURCH-STOUFFVILLE

BY-LAW NUMBER 2024-060-ZO

BEING A BY-LAW to amend By-law 2010-001-ZO of the Town of Whitchurch-Stouffville (Comprehensive Zoning By-law) for the lands located at 316, 328, 340, 352, 364, 376, and 386 Cam Fella Boulevard

WHEREAS Section 34 of the *Planning Act*, R.S.O. 1990, c.P.13 as amended (the "*Planning Act*"), permits the councils of local municipalities to pass zoning by-laws for prohibiting the use of land or the erecting, locating or using of buildings or structures for or except for such purposes as may be set out in the by-law; and

WHEREAS Section 34(10) of the *Planning Act* permits the councils of local municipalities to amend Zoning By-laws; and

WHEREAS Council for the Town desires to amend Comprehensive Zoning By-law 2010-001-ZO in respect of the lands known as 316, 328, 340, 352, 364, 376 and 386 Cam Fella Boulevard.

NOW THEREFORE THE COUNCIL OF THE CORPORATION OF THE TOWN OF WHITCHURCH-STOUFFVILLE ENACTS AS FOLLOWS:

1. That Comprehensive Zoning By-law No. 2010-001-ZO is hereby amended as follows:
 - a) By amending Schedule 49 to rezone the lands from Residential Village (RV) to Residential New Three Exception Ten Zone [RN3(10)] and Residential New Four Exception Twenty Zone [RN4(20)] as Shown on Schedule 1 to this By-law;
 - b) By amending Section 5A.3.3 Exceptions to the RN3 zone to add a new Section 5A. 3.3.10 as set out in Schedule 2 to this By-law; and
 - c) By amending Section 5A.3.4. Exceptions to the RN4 zone to add a new Section 5A. 3.4.20 as set out in Schedule 3 to this By-Law.
2. That this By-law shall come into force in accordance with Section 34 of the *Planning Act*, as amended.

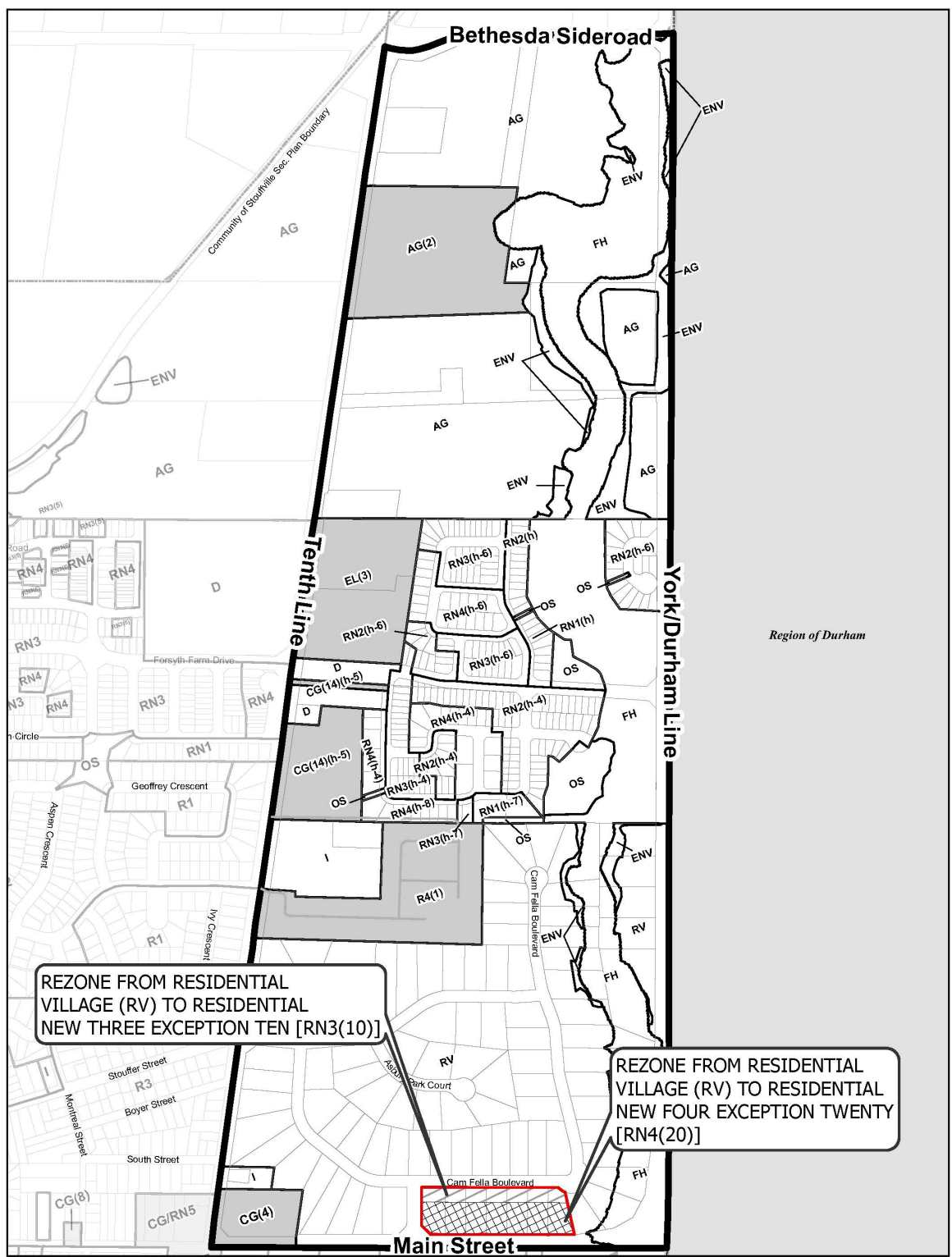
READ a first and second time this 15th day of May, 2024.

READ a third time and passed this 15th day of May, 2024.

Iain Lovatt, Mayor

Becky Jamieson, Clerk

SCHEDULE 1 TO BY-LAW 2024-060-ZO



REZONE FROM RESIDENTIAL VILLAGE (RV) TO RESIDENTIAL NEW THREE EXCEPTION TEN [RN3(10)]

REZONE FROM RESIDENTIAL VILLAGE (RV) TO RESIDENTIAL NEW FOUR EXCEPTION TWENTY [RN4(20)]

SCHEDULE 49

Scale: 0 to 200 meters

CHANGE AREA

ZONE DESCRIPTION

Section 4

- AG - Agricultural
- ENV - Environmental
- FH - Flood hazard
- ORM-C - Oak Ridges Moraine Countryside
- ORM-L - Oak Ridges Moraine Linkage
- ORM-N/C - Oak Ridges Moraine Natural Core

Section 5

- RS - Residential Single Detached
- RS-PS - Residential Single Detached - Professional Services
- R1 - Residential 1
- R2 - Residential 2
- R3 - Residential 3
- R4 - Residential 4
- R4M - Residential Multiple 1
- R4M2 - Residential Multiple 2

Section 6

- RM - Residential Medium Density
- RN1 - New Residential 1
- RN2 - New Residential 2
- RN3 - New Residential 3
- RN4 - New Residential 4
- RN5 - New Residential 5

Section 7

- CM1 - Community Mixed Commercial
- CM2 - Community Commercial
- CM3 - Commercial Residential Mixed - Baltimore
- CG - General Commercial
- CV - Village Commercial
- CR - Recreational Commercial

Section 8

- EB - Employment Business Park / Community
- EB-PS - Employment Business Park / Professional Services
- EL - Employment Light / General
- EL-PS - Employment Light / Professional Services
- ED - Employment Depots
- EX - Employment Extraction

Section 9

- I - Industrial
- OS - Open Space
- OS-PS - Open Space - Professional Services

Section 10

- OS - Open Space
- OS-PS - Open Space - Professional Services

Section 11

- OS - Open Space
- OS-PS - Open Space - Professional Services

Section 12

- OS - Open Space
- OS-PS - Open Space - Professional Services

Section 13

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Section 14

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Section 49

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Section 50

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SCHEDULE 49

Scale: 0 to 200 meters

SCHEDULE 2 TO BY-LAW 2024-XX-ZO

5A.3.3.10

RN3 (10) 316, 328, 340, 352, 364, 376 and 386 Cam Fella Boulevard, Schedule 49

1. Permitted Uses

- i) Single Detached Dwelling

2. Regulations

RN3 (10) Zone

- | | | |
|------|----------------------------|--|
| i) | Minimum Lot area | 330 square metres |
| ii) | Minimum Lot Frontage | 14.5 metres (1) |
| iii) | Front Yard Setback | Minimum 5.5 metres
Maximum 7.5 metres |
| iv) | Exterior Side Yard Setback | Minimum: 2.5 m (1)
Maximum 7.5 m |
| v) | Interior Side Yard Setback | The minimum required interior side yard shall be 0.6 m on one side and 1.2 m on the opposite side of the dwelling. |
| vi) | Minimum Rear Yard | 6.0 metres |
| vii) | Maximum Building Height | 11.5 metres |

3. Qualifying Notes

- (1) Abutting the bulb at Cam Fella Boulevard, the minimum lot frontage shall be 10 m and the minimum exterior side yard setback to the bulb shall be 1.8 m.

SCHEDULE 1 TO BY-LAW 2024-XX-ZO

5A.3.4.20

RN4 (20) 316, 328, 340, 352, 364, 376 and 386 Cam Fella Boulevard, Schedule 49
Notwithstanding Sections 5A.1 and 5A.2, the following shall apply:

1. Permitted Uses

- i) Townhouse Dwelling

2. Regulations

RN4 (20) Zone

- | | | |
|-------|--|---|
| i) | Minimum Lot Area | Not Applicable |
| ii) | Minimum unit width | 5.5 per dwelling unit |
| iii) | Front Yard Setback | Minimum 3.0 metres
Maximum 7.5 metres |
| iv) | Exterior Side Yard Setback | Minimum 2.5 metres
Maximum 7.5 metres |
| v) | Interior Side Yard Setback | Lots abutting interior lot line must be a minimum of 1.2 metres |
| vi) | Minimum Yard Between Buildings | 2.5 metres |
| vii) | Minimum Rear Yard | 6.0 metres |
| viii) | Maximum Building Height | 12.5 metres |
| ix) | Minimum number of visitor parking spaces | 0.2 parking spaces per unit reserved for visitors |

3. Special Regulations

- i) For the purpose of this bylaw, the zone as seen in Schedule 49 will be considered as a single lot and the front lot line will be Main Street.
- ii) For the purpose of this zone, a total of 235 parking spaces shall be provided.